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1214 N. STADEM DR.
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DALE STREET, L.L.C.
75 KALLOF PL.
SEDONA, AZ 86336
PHONE: (928) 282-1061
CONTACT: JOHN WESNITZER
TITLE: PRESIDENT

VERIZON WIRELESS
126 W. GEMINI DR.
TEMPE, AZ, 85283
PHONE: (623) 293-2442
CONTACT: DAVE CAMPBELL

LOCAL JURISDICTION	: CITY OF SEDONA
COUNTY	: YAVAPAI COUNTY
ASSESSORS PARCEL	: 408-28-032
ZONING	: L - LODGING DISTRICT
USE	: TELECOMMUNICATION FACILITY
PARENT PARCEL AREA	: 47,916.6 S.F. (~ 1.1 AC.)
NEW LEASE AREA	: 456 S.F.
PARKING REQ'D	: 0
PARKING PROVIDED	: 1

HVAC USED ON THIS STRUCTURE IS NOT INTENDED FOR HUMAN COMFORT ITS USE IS SOLELY FOR ELECTRONIC EQUIPMENT COOLING.

DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.

PROVIDE STREET ADDRESS IDENTIFICATION PER MUNICIPAL REQUIREMENTS.

THE USE OF THIS SITE WILL GENERATE NO TRASH.

THIS PROJECT DOES NOT REQUIRE WATER OR SEWER

THIS PROJECT REQUIRES PERMANENT POWER & TELEPHONE CONNECTION

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.
LANDINGS AND EXITS SHALL COMPLY WITH THE APPLICABLE
BUILDING CODE.

ALL NEW ANTENNAS SHALL BE IN COMPLIANCE WITH ALL FEDERAL COMMUNICATIONS COMMISSION (FCC) REGULATIONS, INCLUDING THOSE PROTECTING THE PUBLIC HEALTH AND THOSE PROTECTING HISTORIC DISTRICTS.

THE PROJECT CONSISTS OF THE INSTALLATION AND OPERATION OF ANTENNAS AND ASSOCIATED EQUIPMENT FOR COMPANY'S WIRELESS TELECOMMUNICATIONS NETWORK. FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION.

THIS FACILITY WILL CONSIST OF PREFABRICATED EQUIPMENT CABINETS, TO HOUSE RADIO EQUIPMENT. NO HAZARDOUS MATERIAL WILL BE STORED WITHIN THE FACILITY.

ALL EXITS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF KEYS OR SPECIAL KNOWLEDGE. MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS ARE PROHIBITED.

NEW LESSEE ANTENNAS AND ASSOCIATED CABLES

NEW LESSEE NEEDLE SOCKS
NEW LESSEE ELECTRICAL SERVICE
NEW LESSEE 75' MONOPINE
NEW LESSEE H-FRAME
NEW LESSEE OUTDOOR EQUIPMENT CABINET
NEW LESSEE 8' CMU SCREEN WALL W/ T.S. ACCESS GATES PAINTED
AND FINISHED TO MATCH EXISTING TRASH ENCLOSURES ON SITE

A photograph of a parking lot. On the left, a large, leafy green tree stands prominently. In the center, there is a landscaped area with various bushes and plants, including some tall, thin grasses. A white parking line is visible on the asphalt. In the background, a building with a reddish-brown roof is partially visible behind the trees. The sky is blue with scattered white clouds. On the right side of the image, there is a large, bare, brown tree branch.

A map showing the project area. A road labeled "SUNSET DRIVE" runs vertically on the left. A road labeled "KALLOF PLACE" runs vertically on the right. A road labeled "89-A" runs horizontally at the top. A small rectangular area is marked with a line pointing to it from the text "PROJECT AREA".

LATITUDE : 34° 51' 46.498" N
LONGITUDE : 111° 47' 39.358" W
ELEVATION : 4394.0' A.M.S.L.



FROM VERIZON WIRELESS OFFICE IN TEMPE, AZ: DEPART W. GEMINI DR TOWARD S. ASH AVE. TURN LEFT ONTO S. ASH AVE. TURN RIGHT ONTO W. GUADALUPE RD. TURN RIGHT ONTO S. KYRENE RD. TURN LEFT ONTO W. BASELINE RD. TAKE RAMP RIGHT FOR I-10 WEST / US-60 WEST TOWARD PHOENIX. KEEP LEFT TO STAY ON I-10 W. AT EXIT 143A-B, TAKE RAMP RIGHT FOR I-17 NORTH TOWARD FLAGSTAFF. AT EXIT 287, TAKE RAMP RIGHT FOR AZ-260 TOWARD COTTONWOOD / PAYSON. TURN LEFT ONTO AZ-260. TURN RIGHT ONTO AZ-89 ALT. BEAR RIGHT ONTO AZ-89 N ALT. BEAR RIGHT ONTO AZ-89 ALT. TURN RIGHT ONTO KALLOF PL. THE LAST INTERSECTION IS N. PAYNE PL.

[illegible]

verizon 

126 W. GEMINI DR.
TEMPE, AZ 85283

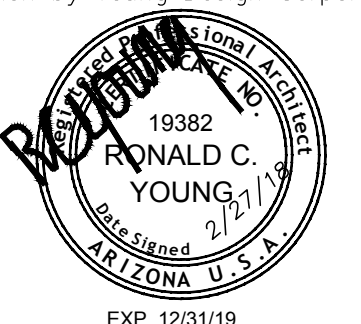
INTERNAL REVIEW	DATE
CONSTRUCTION SIGNATURE	
RF SIGNATURE	
FACILITIES SIGNATURE	
REAL ESTATE SIGNATURE	



**Young
design corp**

architecture / project management
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PRELIMINARY UNLESS SIGNED

NO.	DATE	DESCRIPTION
1	10/5/2017	90% PRELIMS
2	10/30/2017	FINAL ISSUE
3	02/27/2018	UPDATE

YDC-7992

AZ2 MADOLE

75 KALLOF PLACE
SEDONA, AZ 86336

TITLE SHEET

CONSIDERATION OF FUTURE WORK

T-1

SURVEYOR NOTES

- ALL TITLE INFORMATION IS BASED UPON A COMMITMENT FOR TITLE INFORMATION PREPARED BY FIRST AMERICAN TITLE INSURANCE CO., ORDER NO.: 5870675 EFFECTIVE DATE: 08/28/2017.
- SURVEYOR HAS NOT PERFORMED A SEARCH OF PUBLIC RECORDS TO DETERMINE ANY DEFECT IN TITLE.
- THE BOUNDARY SHOWN HEREON IS PLOTTED FROM RECORD INFORMATION AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTY.
- SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT BLUE STAKE AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

SCHEDULE B EXCEPTIONS

- AN EASEMENT FOR INGRESS, EGRESS, UTILITIES AND INCIDENTAL PURPOSES, RECORDED AS BOOK 1305 OF OFFICIAL RECORDS, PAGE 414.

ITEMS 1-5 AND 7-14 OF THE CLIENT PROVIDED TITLE REPORT DO NOT CONTAIN GRAPHICALLY PLOTTABLE EASEMENTS, SETBACKS, RESTRICTIONS OR OTHER ENCUMBRANCES, AND/OR BLANKET IN NATURE OR DO NOT AFFECT SUBJECT SITE. THE SURVEYOR CANNOT GUARANTEE THAT NON-PLOTTABLE ENCUMBRANCES DO NOT EXIST THAT MAY AFFECT THE SUBJECT LEASED PREMISES.

LEGEND

- FOUND AS NOTED
- ELECTRICAL TRANSFORMER
- TELEPHONE PEDESTAL
- IRRIGATION CONTROL VALVE
- DECIDUOUS TREE
- BREAKLINE
- SPOT ELEVATION
- POSITION OF GEODETIC COORDINATES
- PROPERTY LINE
- PROPERTY LINE (OTHER)
- MONUMENT LINE
- EASEMENT LINE
- ASSESSORS PARCEL NUMBER
- BUILDING
- CONCRETE MASONRY UNIT
- CONCRETE SURFACE
- DRIVEWAY
- NATURAL GRADE
- RIGHT OF WAY
- TOP OF CURB
- TOP OF WALL

PROJECT META DATA

- ELEVATIONS SHOWN HEREON ARE REPRESENTED IN *NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVd88)* ESTABLISHED FROM GPS DERIVED ELLIPSOID HEIGHTS, APPLYING GEOID 09 SEPARATIONS CONSTRAINING TO NGS CORS STATIONS PROVIDED IN THE "ONLINE POSITIONING USER SERVICE" (OPUS) SOLUTION FOR THIS SPECIFIC SITE.
- BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM ARIZONA STATE PLANE COORDINATE ZONE CENTRAL, DETERMINED BY GPS OBSERVATIONS.
- FIELD WORK FOR THIS PROJECT WAS PERFORMED ON 09/22/2017.

FLOOD ZONE DESIGNATION

THE PROPOSED LEASE PREMISES SHOWN HEREON APPEAR TO BE WITHIN FLOOD ZONE "X" AS DELINEATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM MAP NO. 04025C1435G DATED 09/03/2010.

FLOOD ZONE "X" IS DEFINED AS: AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN; DETERMINED TO BE OUTSIDE THE 1% AND 0.2% ANNUAL CHANCE FLOODPLAINS.

LESSEE LEASE AREA LEGAL DESCRIPTION

A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 17 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, YAVAPAI COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE THE SOUTHEAST CORNER OF SAID EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE NORTH 00°04'23" EAST ALONG THE EAST LINE OF SAID EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 12, 509.72 FEET; THENCE DEPARTING SAID EAST LINE NORTH 90°00'00" WEST, 96.09 FEET; THENCE SOUTH 59°51'06" WEST, 46.28 FEET; THENCE NORTH 90°00'00" WEST, 121.72 FEET; THENCE NORTH 90°00'00" WEST, 22.00 FEET; THENCE SOUTH 00°00'00" EAST, 6.00 FEET TO THE POINT OF BEGINNING.

THENCE NORTH 90°00'00" EAST, 16.00 FEET; THENCE SOUTH 00°00'00" WEST, 24.00 FEET; THENCE NORTH 90°00'00" WEST, 19.00 FEET; THENCE NORTH 00°00'00" EAST, 24.00 FEET; THENCE NORTH 90°00'00" EAST, 3.00 FEET TO THE POINT OF BEGINNING.

LESSOR'S LEGAL DESCRIPTION

A TRACT OF LAND IN THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 17 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, YAVAPAI COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF SAID EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 12, DISTANT ALONG SAID EAST LINE NORTH 00 DEGREES 08 MINUTES 50 SECONDS EAST, 374.34 FEET FROM THE SOUTHEAST CORNER OF SAID EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE ALONG SAID EAST LINE NORTH 00 DEGREES 08 MINUTES 50 SECONDS EAST, 148.29 FEET TO A PROPERTY CORNER; THENCE ALONG AN EXISTING PROPERTY LINE, NORTH 89 DEGREES 39 MINUTES 30 SECONDS WEST, 323.28 FEET TO THE WEST LINE OF SAID EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 12, 509.72 FEET TO THE POINT OF BEGINNING.

LESSEE ACCESS/UTILITY EASEMENT LEGAL DESCRIPTION

A 12.00 FOOT WIDE STRIP OF LAND BEING A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 17 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, YAVAPAI COUNTY, ARIZONA, LYING 6.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCING AT THE THE SOUTHEAST CORNER OF SAID EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE NORTH 00°04'23" EAST ALONG THE EAST LINE OF SAID EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 12, 509.72 FEET TO THE POINT OF BEGINNING.

THENCE DEPARTING SAID EAST LINE NORTH 90°00'00" WEST, 96.09 FEET; THENCE SOUTH 59°51'06" WEST, 46.28 FEET; THENCE NORTH 90°00'00" WEST, 121.72 FEET TO A POINT HEREIN KNOWN AS POINT "A"; THENCE NORTH 90°00'00" WEST, 22.00 FEET TO THE POINT OF TERMINUS.

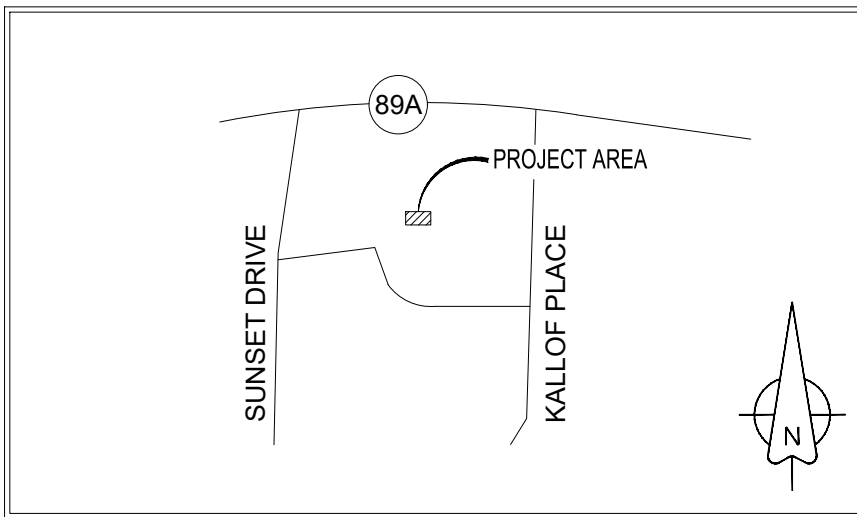
TOGETHER WITH A 12.00 FOOT WIDE STRIP OF LAND LYING 6.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCING AT SAID POINT "A";

THENCE SOUTH 00°00'00" EAST, 110.93 FEET TO THE POINT OF TERMINUS.

LINE TABLE		
LINE	LENGTH	BEARING
L1	509.72	N0° 04' 23"E
L2	96.09	N90° 00' 00"W
L3	46.28	S59° 51' 06"W
L4	121.72	N90° 00' 00"W
L5	22.00	N90° 00' 00"W
L6	110.93	S0° 00' 00"E
L7	6.00	S0° 00' 00"E

LINE TABLE		
LINE	LENGTH	BEARING
L8	16.00	N90° 00' 00"E
L9	26.00	S0° 00' 00"E
L10	16.00	N90° 00' 00"W
L11	26.00	N0° 00' 00"E
L12	83.26	S0° 00' 00"E
L13	24.58	S0° 00' 00"E
L14	257.67	S89° 43' 57"E



VICINITY MAP
N.T.S.

LESSEE UTILITY EASEMENT 1 LEGAL DESCRIPTION

A 6.00 FOOT WIDE STRIP OF LAND BEING A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 17 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, YAVAPAI COUNTY, ARIZONA, LYING 3.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCING AT THE THE SOUTHEAST CORNER OF SAID EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE NORTH 00°04'23" EAST ALONG THE EAST LINE OF SAID EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 12, 509.72 FEET; THENCE DEPARTING SAID EAST LINE NORTH 90°00'00" WEST, 96.09 FEET; THENCE SOUTH 59°51'06" WEST, 46.28 FEET; THENCE NORTH 90°00'00" WEST, 121.72 FEET; THENCE SOUTH 00°00'00" EAST, 83.26 FEET TO THE POINT OF BEGINNING.

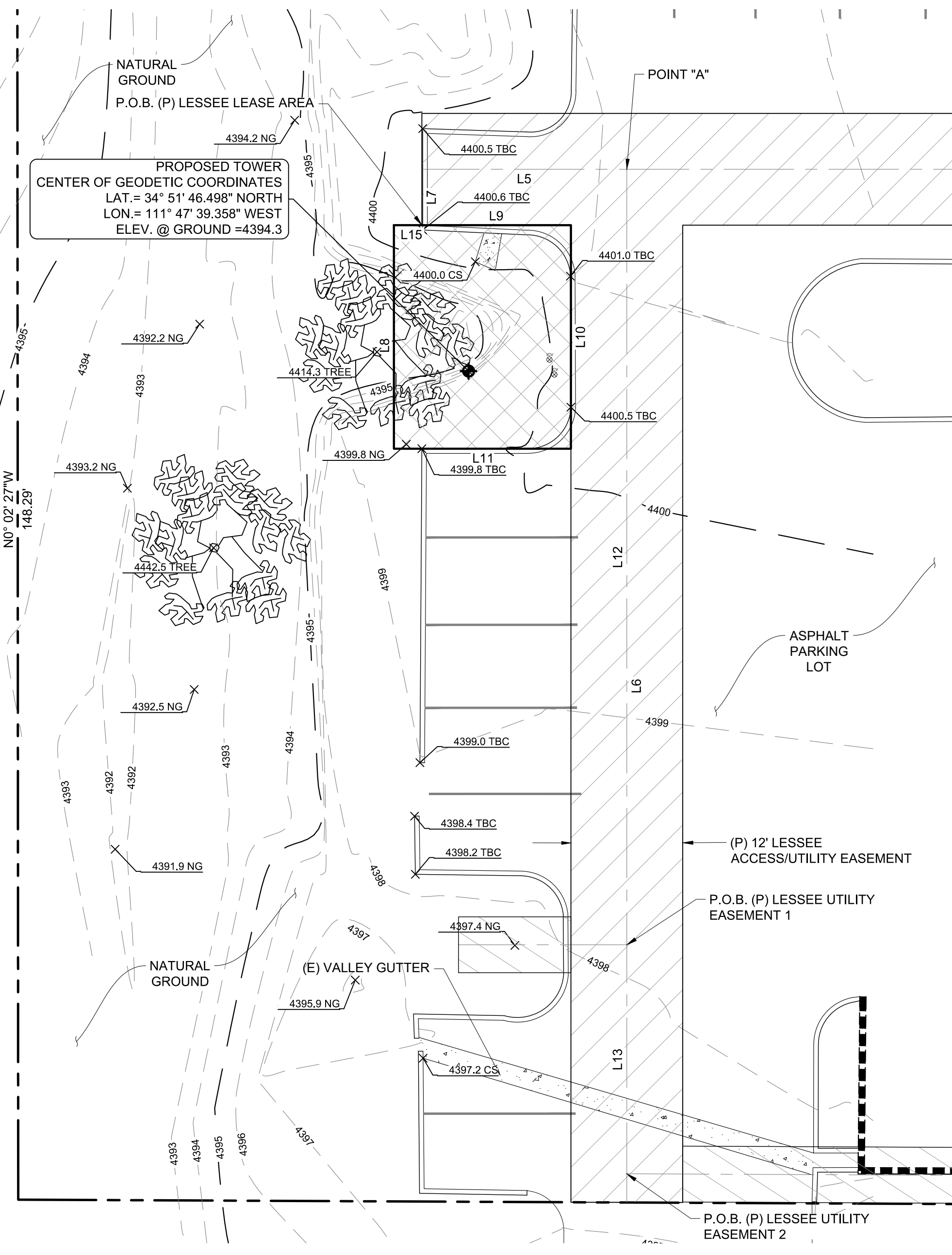
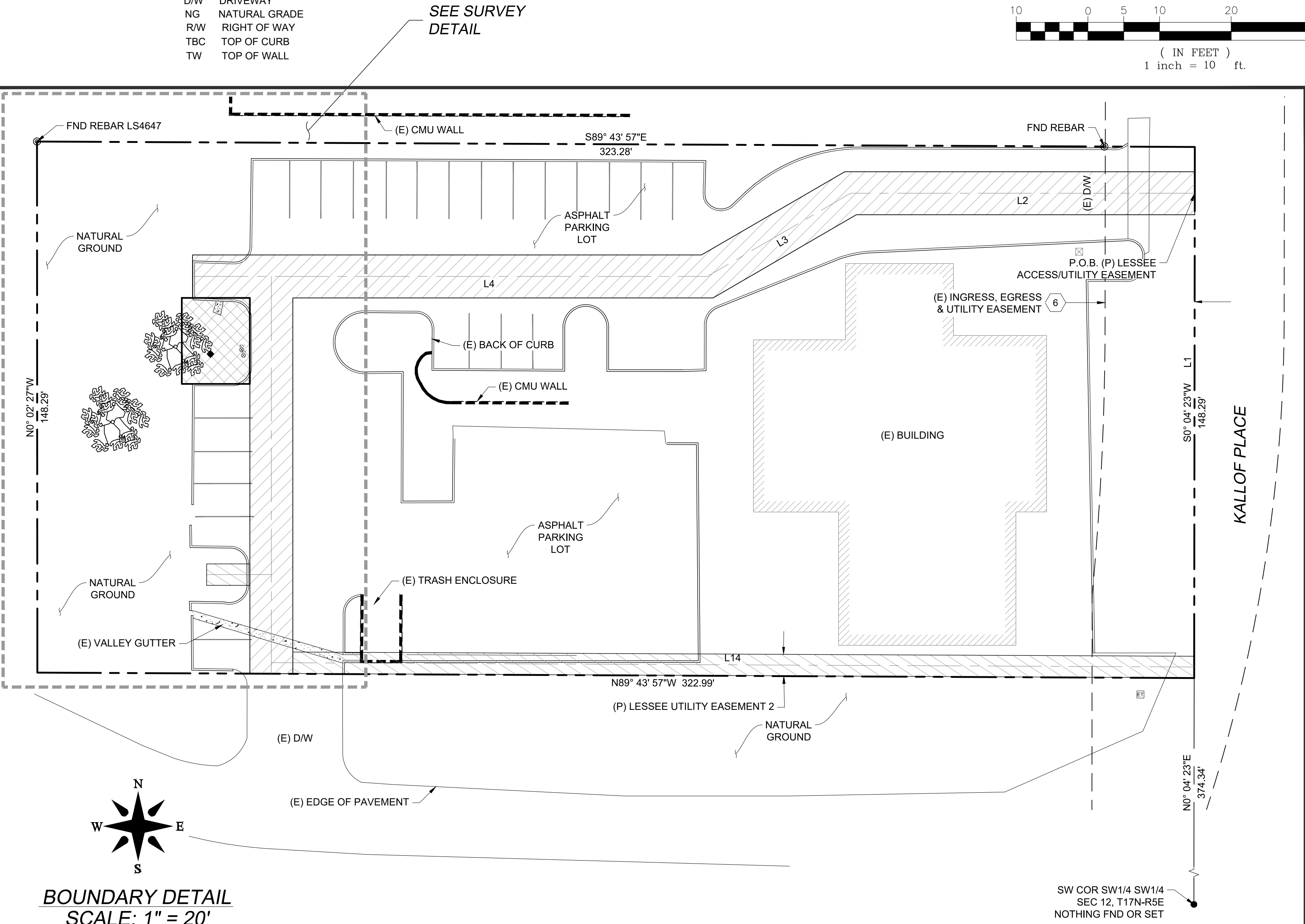
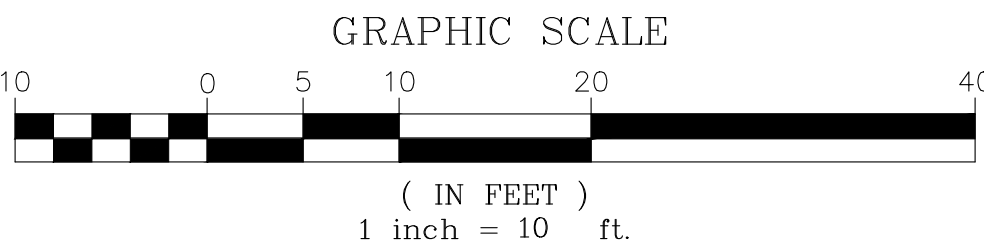
THENCE NORTH 90°00'00" WEST, 18.07 FEET TO THE POINT OF TERMINUS.

LESSEE UTILITY EASEMENT 2 LEGAL DESCRIPTION

A 6.00 FOOT WIDE STRIP OF LAND BEING A PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 17 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, YAVAPAI COUNTY, ARIZONA, LYING 3.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCING AT THE THE SOUTHEAST CORNER OF SAID EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE NORTH 00°04'23" EAST ALONG THE EAST LINE OF SAID EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 12, 509.72 FEET; THENCE DEPARTING SAID EAST LINE NORTH 90°00'00" WEST, 96.09 FEET; THENCE SOUTH 59°51'06" WEST, 46.28 FEET; THENCE NORTH 90°00'00" WEST, 121.72 FEET; THENCE SOUTH 00°00'00" EAST, 83.26 FEET; THENCE SOUTH 00°00'00" EAST, 24.58 FEET TO THE POINT OF BEGINNING.

THENCE SOUTH 89°43'57" EAST, 257.67 FEET TO THE POINT OF TERMINUS.



verizon
126 W. GEMINI DR.
TEMPE, AZ 85283

young design corp

architecture / project management
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e mail: corp@ydcoffice.com

FIELD BY:	JTS
DRAWN BY:	CRS
CHECKED BY:	ABM

REVISIONS

NO.	DATE	DESCRIPTION
4	12/04/17	REVISION
3	11/27/17	REVISION
2	10/16/17	FINAL
1	10/02/17	PRELIMINARY

RLF CONSULTING
LAND SURVEY • MAPPING SOLUTIONS
1214 N. STADEM DR. • TEMPE AZ 85281
WWW.RLFCONSULTING.COM • 480-445-9299



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PROJECT No.
090061424

SITE NAME:
AZ2 MADOLE

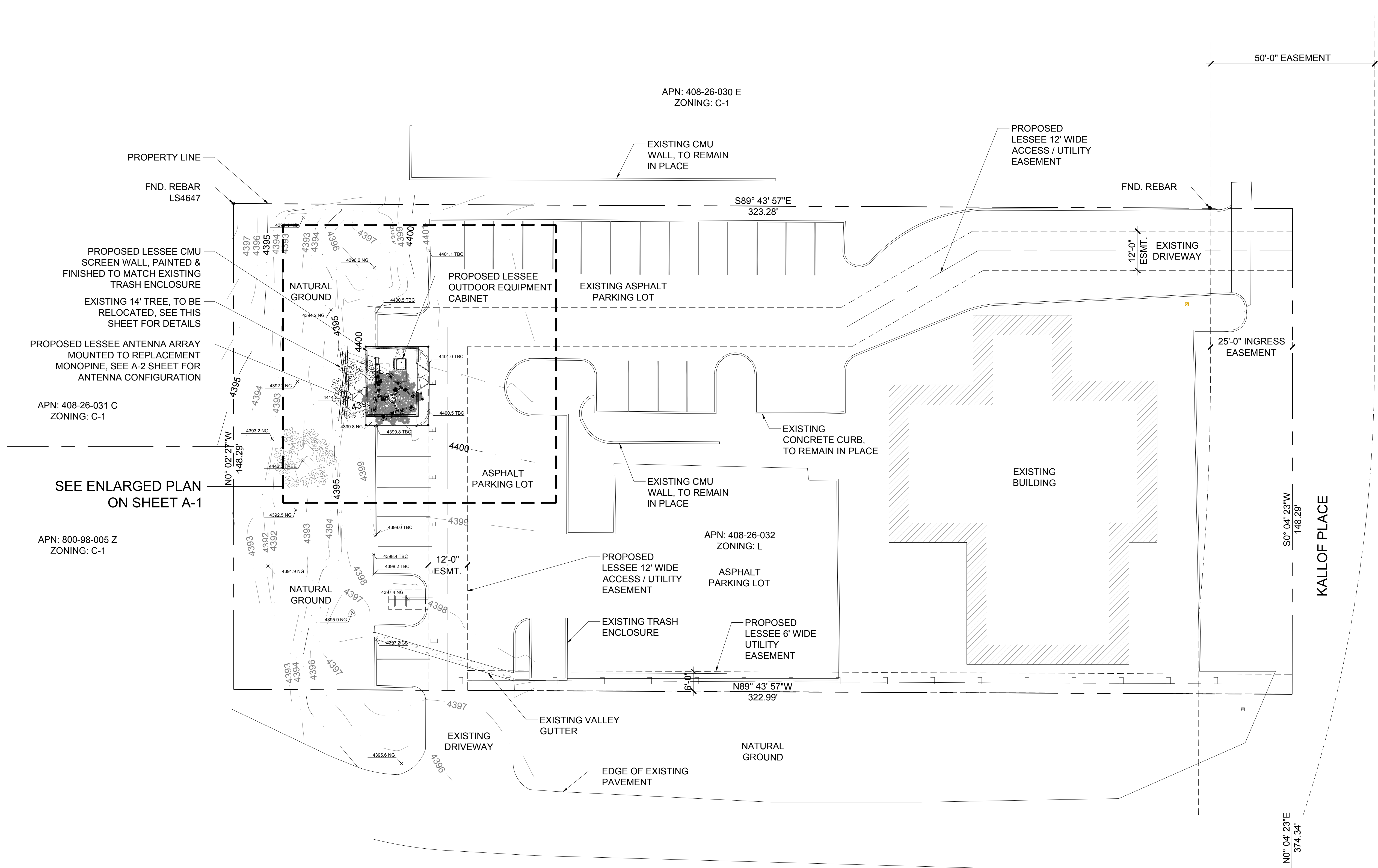
SITE ADDRESS:
**75 KALLOF PLACE
SEDONA, AZ 86336**

SHEET TITLE:
TOPOGRAPHIC SURVEY

SHEET NO.

LS-1

REVISION:




NEW MONOPINE SETBACKS TO PROPERTY LINE

NORTH	± 61'-9"
SOUTH	± 86'-6"
WEST	± 51'-5"
EAST	± 271'-9"

* SETBACKS ARE DERIVED FROM A TOPOGRAPHIC SURVEY PERFORMED BY A REGISTERED LAND SURVEYOR

CLIENT



126 W. GEMINI DR.
TEMPE, AZ 85283

INTERNAL REVIEW

DATE

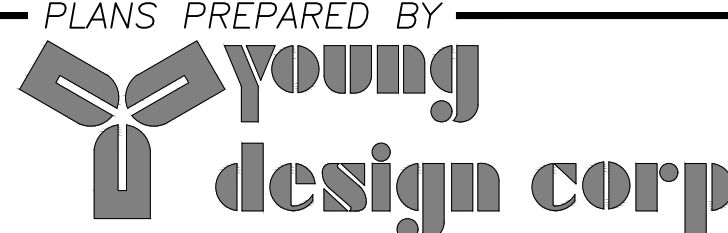
CONSTRUCTION SIGNATURE

RF SIGNATURE

FACILITIES SIGNATURE

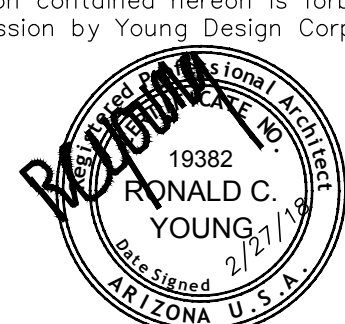
REAL ESTATE SIGNATURE

PLANS PREPARED BY



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NO.	DATE	DESCRIPTION
1	10/5/2017	90% PRELIMS
2	10/30/2017	FINAL ISSUE
3	02/27/2018	UPDATE

ARCHITECTS JOB NO.

YDC-7992

PROJECT INFORMATION

AZ2 MADOLE

75 KALLOF PLACE
SEDONA, AZ 86336

SHEET TITLE

SITE PLAN

JURISDICTION APPROVAL

SHEET NUMBER

A-1

NOT USED

4

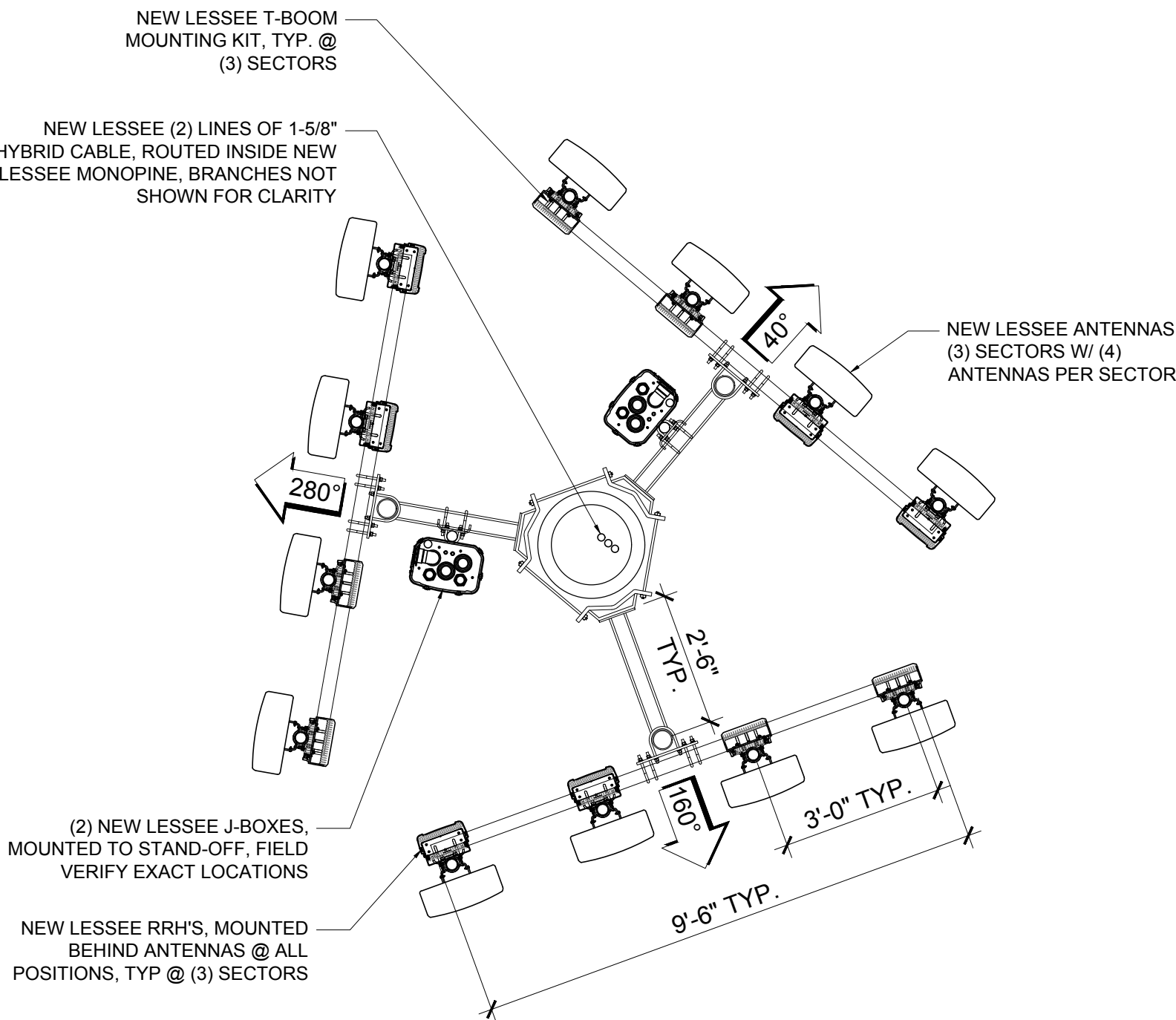
COAXIAL CABLE TABLE					
SECTOR	AZIMUTH	CENTERLINE	QTY.	SIZE	TYPE
ALPHA	40°	65'-0"	-	-	-
BETA	160°	65'-0"	-	-	-
GAMMA	280°	65'-0"	-	-	-
N/A	N/A	N/A	2	1-5/8"	6X12 HYBRID CABLES

NOTE:
ALL AZIMUTHS SHOWN ARE RELATIVE TO TRUE NORTH,
UNLESS NOTED OTHERWISE

*IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY
AZIMUTHS DEPICTED HEREIN WITH RF DEPARTMENT PRIOR
TO INSTALLING ANTENNAS.

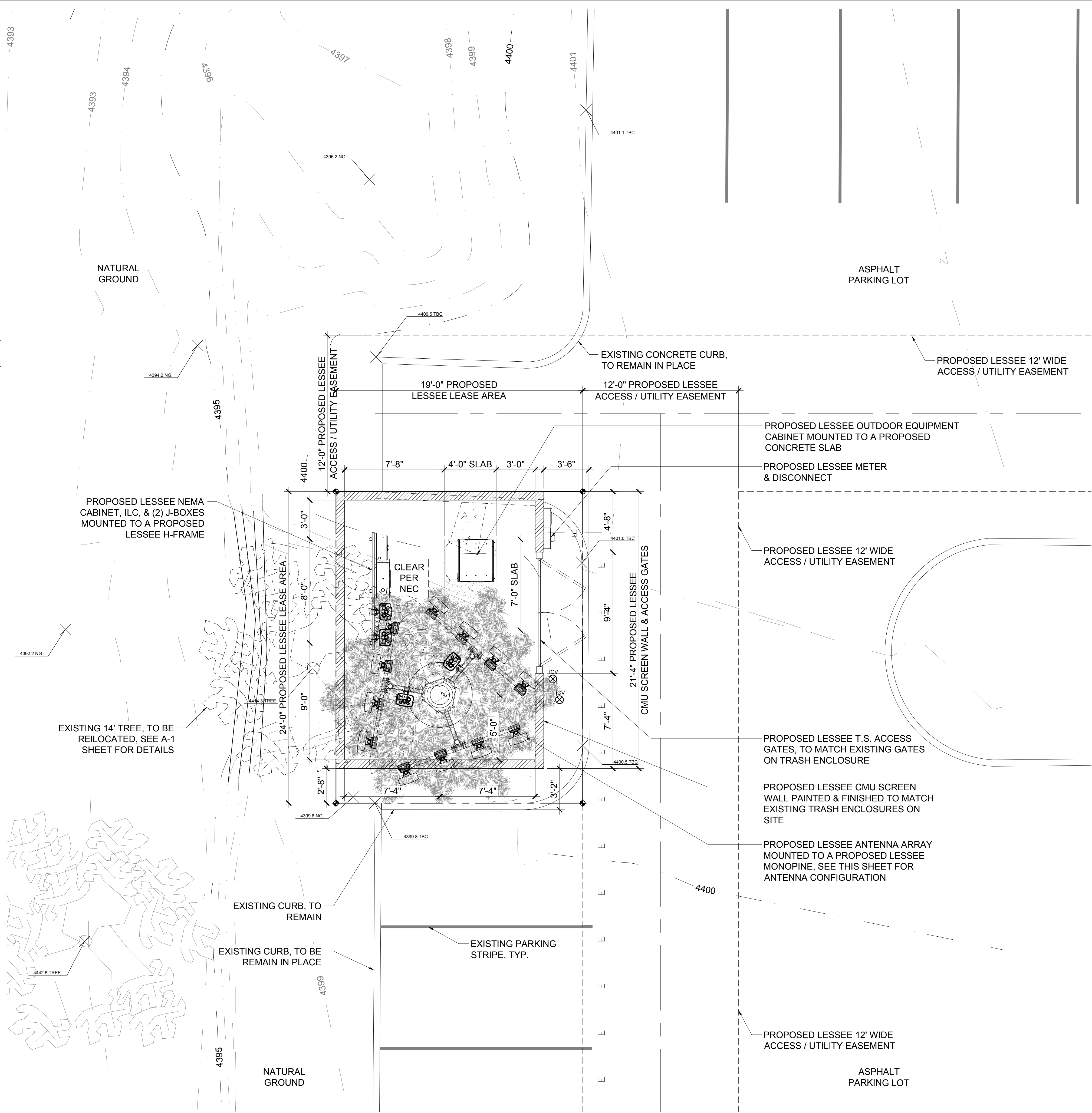
COAX CABLE INFORMATION

3



NEW ANTENNA CONFIGURATION

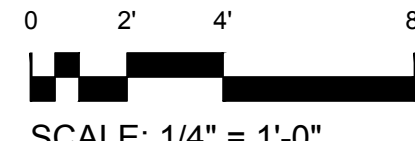
2



1
A-2

ENLARGED SITE PLAN

SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

CLIENT

verizon
126 W. GEMINI DR.
TEMPE, AZ 85283

INTERNAL REVIEW _____ DATE _____

CONSTRUCTION SIGNATURE _____

RF SIGNATURE _____

FACILITIES SIGNATURE _____

REAL ESTATE SIGNATURE _____

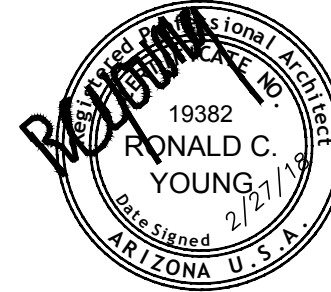
PLANS PREPARED BY

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architecture / project management
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NO. _____ DATE _____ DESCRIPTION _____

1	10/5/2017	90% PRELIMS
2	10/30/2017	FINAL ISSUE
3	02/27/2018	UPDATE

ARCHITECTS JOB NO.

YDC-7992

PROJECT INFORMATION

AZ2 MADOLE

75 KALLOF PLACE
SEDONA, AZ 86336

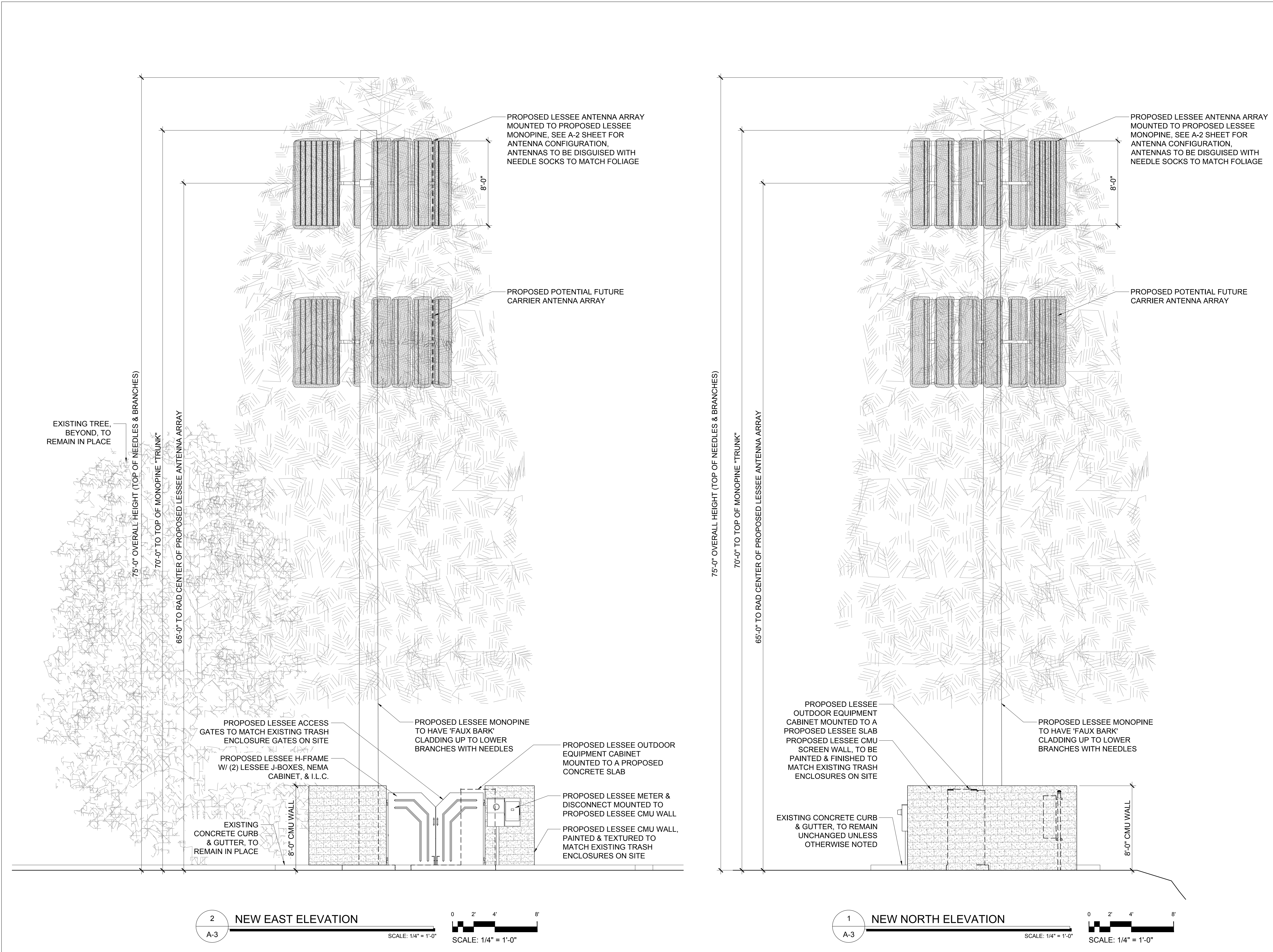
SHEET TITLE

**ENLARGED SITE PLAN
SITE DETAILS**


JURISDICTION APPROVAL

SHEET NUMBER

A-2



CLIENT



126 W. GEMINI DR.
TEMPE, AZ 85283

INTERNAL REVIEW

DATE

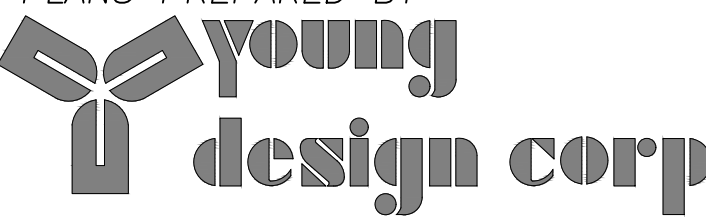
CONSTRUCTION SIGNATURE

RF SIGNATURE

FACILITIES SIGNATURE

REAL ESTATE SIGNATURE

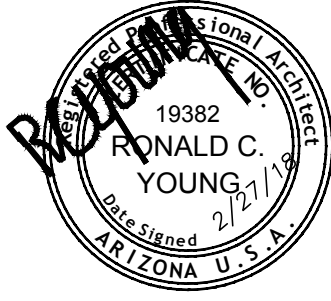
PLANS PREPARED BY



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No. 19382
State of Arizona
Exp. 12/31/19

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PRELIMINARY UNLESS SIGNED

NO.	DATE	DESCRIPTION
1	10/5/2017	90% PRELIMS
2	10/30/2017	FINAL ISSUE
3	02/27/2018	UPDATE

ARCHITECTS JOB NO.

YDC-7992

PROJECT INFORMATION

AZ2 MADOLE

75 KALLOF PLACE
SEDONA, AZ 86336

SHEET TITLE

ELEVATIONS

JURISDICTION APPROVAL

SHEET NUMBER

A-3

VERIZON CELL TOWER

CONSTRUCTION PLANS

GRADING, DRAINAGE AND UTILITIES

PARCEL NO. 408-26-03275
KALLOFF PLACE
SEDONA, YAVAPAI COUNTY, ARIZONA

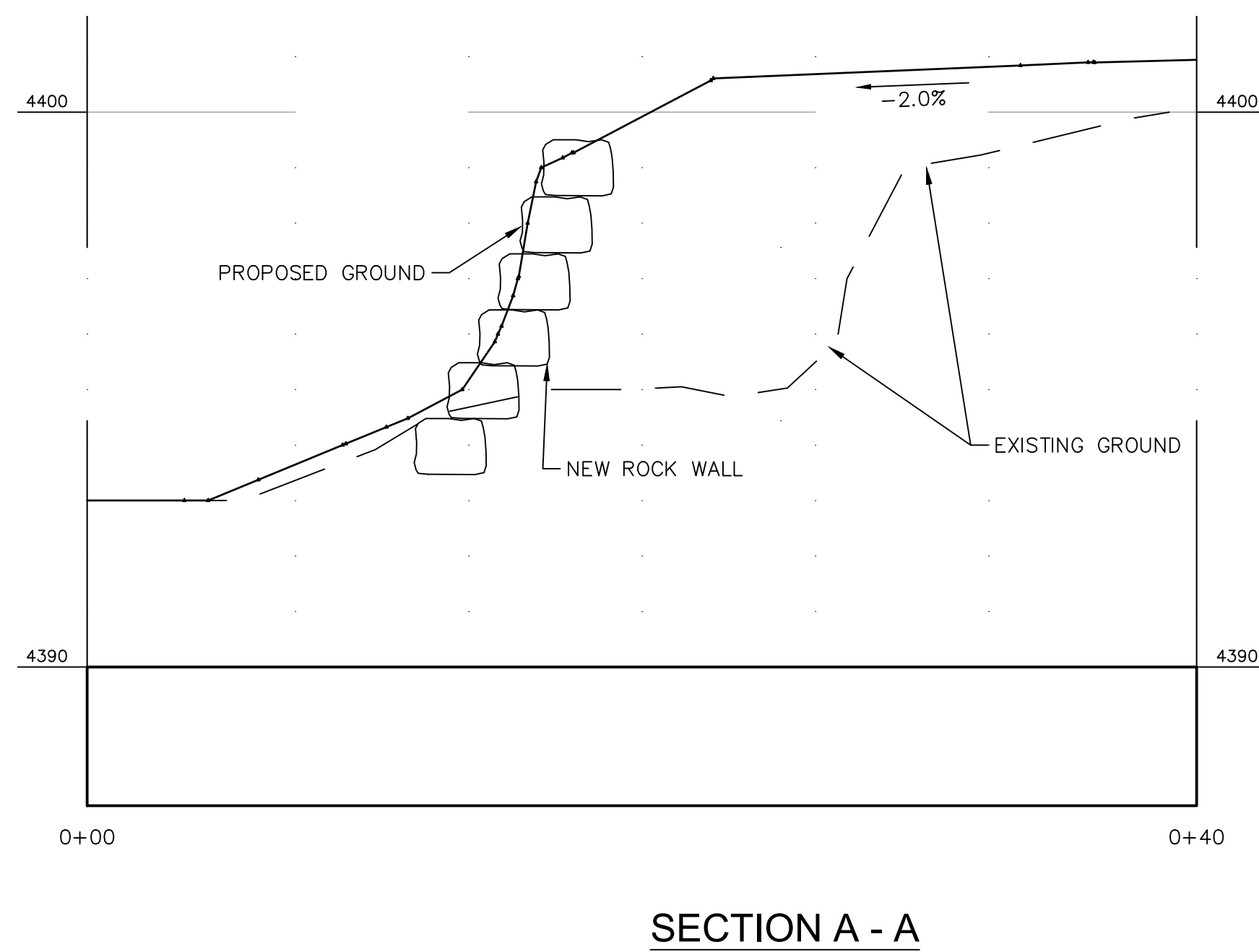
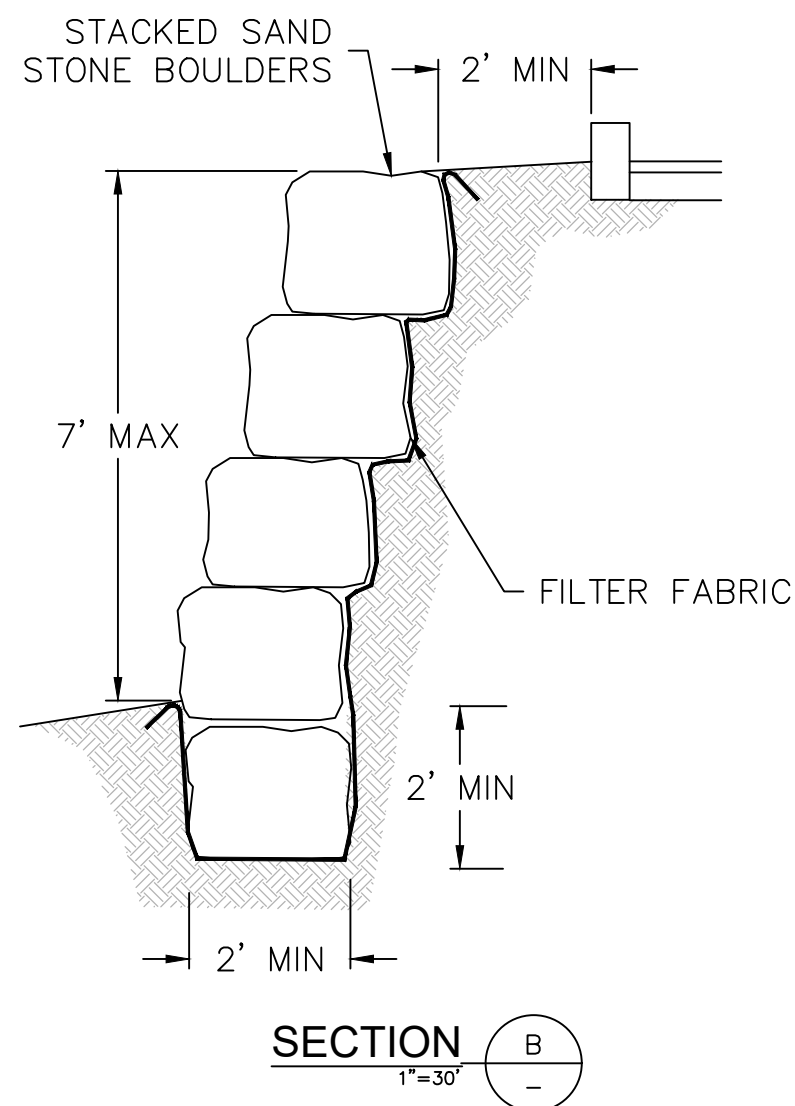
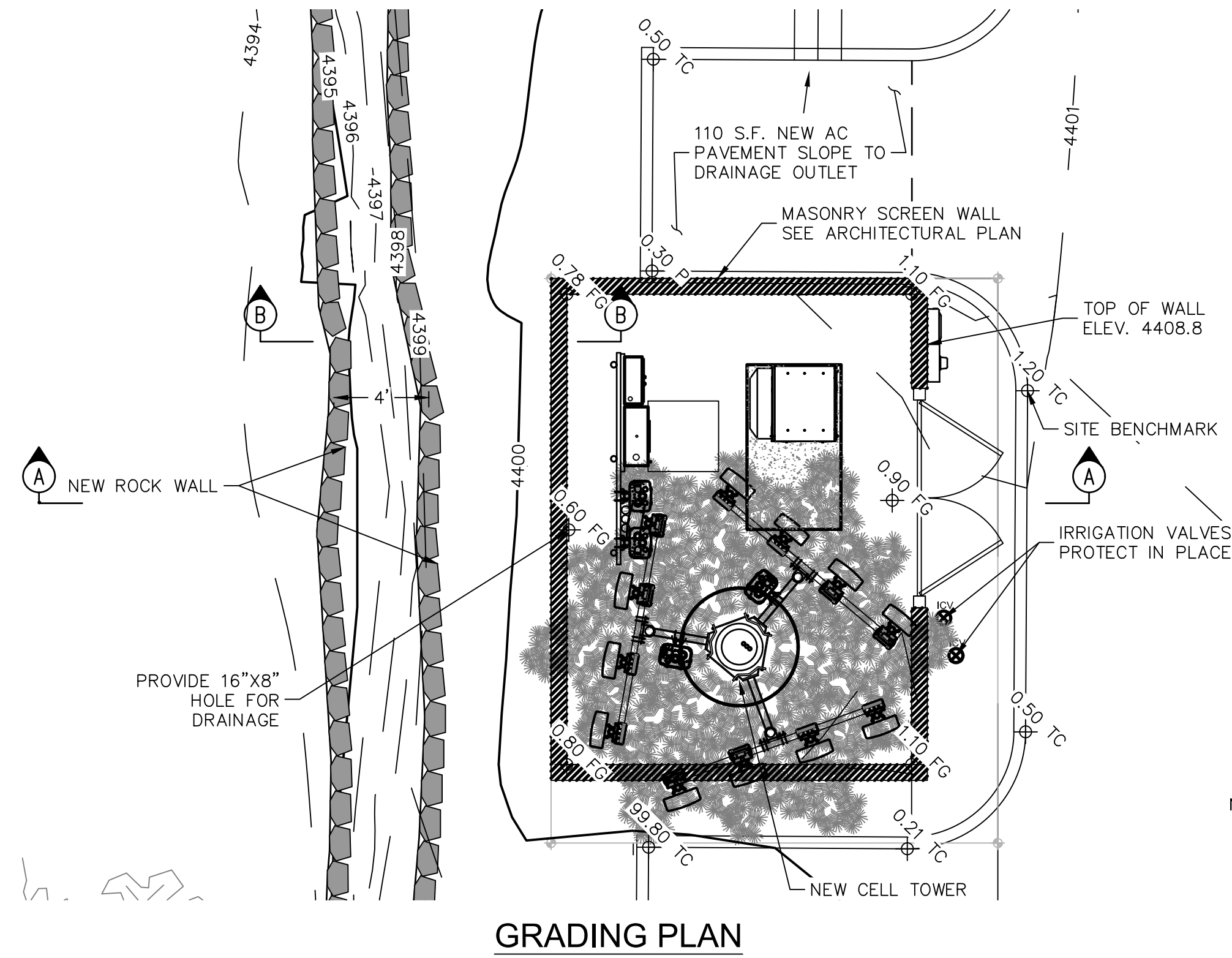
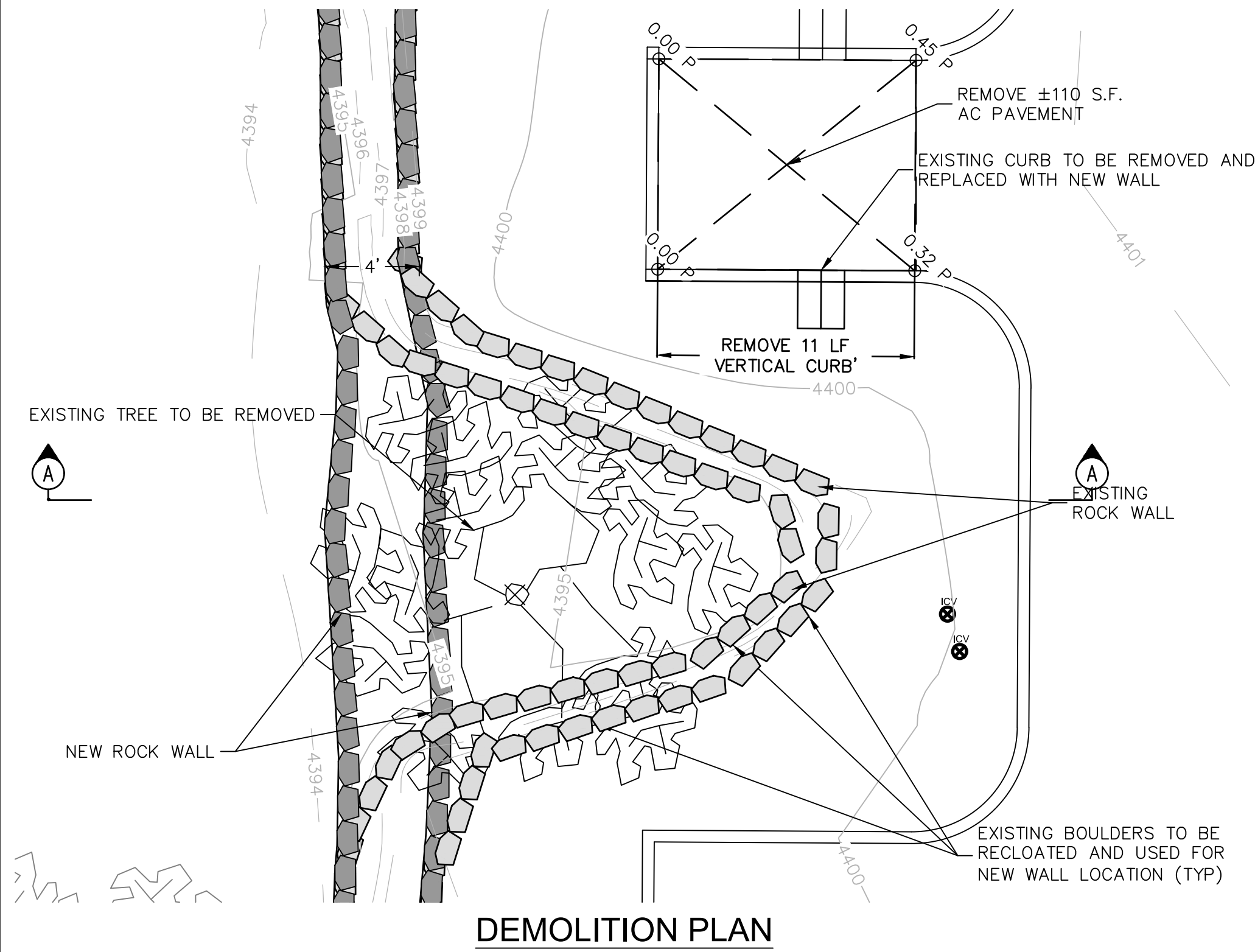
OWNER	ENGINEER	LESSEE
DALE STREET, LLC 75 KALLOFF PLACE SEDONA, AZ 86336	SHEPHARD-WESNITZER, INC. JOHN B. WESNITZER, P.E. 75 KALLOFF PLACE SEDONA, AZ 86336 (928) 282-1061	VERIZON WIRELESS 126 GEMINI DR TEMPE, AZ 85282

GENERAL NOTES

WATER SOURCE	ARIZONA WATER CO
REFUSE REMOVAL	WASTE MANAGEMENT
SEWER SERVICE	CITY OF SEDONA
POLICE	CITY OF SEDONA
FIRE/EMERGENCY DISTRICT	SEDONA FIRE DISTRICT
ELECTRIC	ARIZONA PUBLIC SERVICE (APS)
TELEPHONE	CENTURY LINK
NATURAL GAS	CITIZENS UTILITIES
ZONING	LODGING
PARCEL #	408-26-032

VICINITY MAP

NOT TO SCALE



PROJECT BENCHMARK

POINT# CP2-3" ALLUMINUM CAP IN CURB STAMPED "SHEPHARD-WESNITZER, INC. CONTROL POINT

HORIZONTAL DATUM: (ASSUMED; NORTHING, EASTING)

NORTHING: 47184.049 (SWI SEDONA ZONE)

EASTING: 51731.728 (SWI SEDONA ZONE)

VERTICAL DATUM: (NAVD 88)

ELEVATION: 4401.20

NAD 83

LATITUDE: N34°51'46.60221"

LONGITUDE: W111°47'39.22357"

HEIGHT (NAVD 88) 4320.962

LEGEND			
	PROPERTY LINE		AIR RELEASE VALVE (ARV)
	RIGHT-OF-WAY		WATER VALVE
	LOT LINE		WATER METER
	LOT SETBACK LINE		WATER BLOW OFF
	ADJACENT PARCEL LINE		FIRE HYDRANT
	UTILITY, DRAINAGE, SLOPE EASEMENT		SEWER MANHOLE
	EXISTING MAJOR CONTOUR		STREET CENTERLINE MONUMENT
	EXISTING MINOR CONTOUR		COTTONPICKER SPINDLE
	EXISTING SEWER LINE		GOVERNMENT MONUMENT
	EXISTING SEWER MANHOLE		REBAR WITH CAP
	100 YEAR FLOODPLAIN PER SEDONA GIS		ASPHALT PAVEMENT
	MAJOR CONTOUR		CONCRETE PAVEMENT
	MINOR CONTOUR		CONCRETE SIDEWALK
	SEWER LINE		RIPRAP
	SEWER SERVICE		ABC GRAVEL DRIVEWAY
	WATER LINE		
	GUARDRAIL		
	STORM DRAIN PIPE		

ESTIMATED EARTHWORK QUANTITIES		
DESCRIPTION	CUT QUANTITY	FILL QUANTITY
IMPORTED FILL	0 CYD	50 CYD

Call at least two full working days before you begin excavation.

ARIZONA811

ArizonaBlueStake, Inc.

Dial 8-1-1 or 1-800-STAKE-IT (782-5348)

REVISIONS			
NO.	DESCRIPTION	DATE	BY

SWI

Shephard Wesnitzer, Inc.

75 Kallof Place
Sedona, AZ 86336
928.282.1061
928.282.2058 fax
www.swiaz.com

JOB NO:	18035
DATE:	FEB 18
SCALE:	1" = 20'
DRAWN:	LTW
DESIGN:	LTW
CHECKED:	JBW

VERIZON CELL TOWER-	VERIZON WIRELESS
GRADING & DRAINAGE PLAN	

PRELIMINARY NOT FOR CONSTRUCTION, BIDDING OR RECORDING	DRAWING NO. C1	
	SHT NO. 1	OF 2

PLOTTED: Feb. 16, 2018- 5:16pm
FILE: P:\2018\18035\Drawings\Construction\Plans\18035- Notes.dwg <<C30_Import.dwg>>

GENERAL NOTES

MATERIALS AND WORKMANSHIP

ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE CURRENT CITY OF SEDONA ENGINEERING STANDARDS AND SPECIFICATIONS, "MARICOPA ASSOCIATION OF GOVERNMENTS UNIFORM STANDARD" (MAG SPECS), "MARICOPA ASSOCIATION OF GOVERNMENTS UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION" (MAG DETAILS), ANY SPECIAL PROVISIONS PREPARED FOR THE PROJECT, AND GENERALLY ACCEPTED GOOD CONSTRUCTION PRACTICES. THE TERM "CURRENT" MEANS THE MOST RECENT SPECIFICATION OR STANDARD IN EFFECT AS OF THE DATE OF THE ENGINEER'S SEAL ON THESE PLANS.

IF TWO OR MORE GIVEN SPECIFICATIONS DIFFER IN CONTENT, THE MORE RESTRICTIVE OR STRINGENT STANDARD OR SPECIFICATION, IN THE OPINION OF THE ENGINEER, WILL GOVERN.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE ABOVE STANDARDS, SPECIFICATIONS AND DETAILS, AS WELL AS ALL OTHER STANDARDS AND SPECIFICATIONS WHICH MAY BE NECESSARY TO COMPLETELY AND ACCURATELY INTERPRET THESE PLANS. THIS REQUIREMENT EXTENDS TO ANY STANDARDS, DETAILS OR SPECIFICATIONS REFERENCED BY THE CONSTRUCTION DOCUMENTS AND NOT INCLUDED IN THE LIST ABOVE.

THE ENGINEER MAY REQUIRE THE SUBMITTAL OF A "CERTIFICATE OF COMPLIANCE" AND/OR "MANUFACTURER'S GUIDELINES" FOR ANY MATERIALS USED IN THE WORK. MANUFACTURER'S GUIDELINES SHALL CONSIST OF WRITTEN INSTRUCTIONS FOR SHIPPING, HANDLING, UNLOADING, CUTTING, JOINING, INSTALLATION, STORAGE, AND/OR ANY OTHER FACETS OF WORKING.

SHOP DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR PER MAG SPECIFICATION 105.2.

THE ENGINEER MAY ORDER ANY OR ALL MATERIALS USED IN THE WORK TO BE TESTED ACCORDING TO THE STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) AND THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) STANDARDS. THE CONTRACTOR SHALL, AT HIS EXPENSE, SUPPLY ALL SAMPLES FOR THE TESTING AND CERTIFICATES OR RESULTS OF TESTING.

ALTERNATE MANUFACTURER AND MODEL

THE CONTRACTOR SHALL SUBMIT CAREFULLY DOCUMENTED AND CONSIDERED WRITTEN PROPOSALS FOR ALTERNATE MATERIALS AND CONSTRUCTION METHODS. THOSE PROPOSALS THAT ARE FOUND TO BE IN CONFORMITY WITH GOOD ENGINEERING DESIGN AND CAN BE EASILY MAINTAINED BY JURISDICTIONAL FORCES MAY BE GIVEN WRITTEN APPROVAL FOR INCORPORATION IN THE CONSTRUCTION PLANS IF THEY ARE FOUND TO BE IN THE BEST PUBLIC INTEREST.

UNAUTHORIZED WORK

ANY WORK PERFORMED WITHOUT THE KNOWLEDGE AND APPROVAL OF THE ENGINEER OR HIS AUTHORIZED REPRESENTATIVE IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.

SUSPENSION OF WORK

THE ENGINEER OR HIS AUTHORIZED REPRESENTATIVE MAY SUSPEND THE WORK BY WRITTEN NOTICE WHEN, IN HIS JUDGMENT, PROGRESS IS UNSATISFACTORY OR PROPER WORKMANSHIP IS BEING PERFORMED, WORK BEING DONE IS UNAUTHORIZED OR DEFECTIVE, WEATHER CONDITIONS ARE UNSUITABLE, OR THERE IS DANGER TO THE PUBLIC HEALTH OR SAFETY.

QUALIFICATIONS OF CONTRACTOR

ALL IMPROVEMENTS SHALL BE CONSTRUCTED BY CONTRACTORS LICENSED BY THE ARIZONA STATE REGISTRAR OF CONTRACTORS, WITH A CLASS OF LICENSE(S) FOR THE SPECIFIC WORK BEING PERFORMED.

CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION METHODS, SEQUENCING, AND SAFETY DURING CONSTRUCTION.

CONTRACTOR IS REQUIRED TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION OF THIS PROJECT.

WATER SUPPLY DURING CONSTRUCTION

ALL WEATHER ACCESS, FIRE HYDRANTS AND WATER MAINS, SHALL BE IN PLACE, APPROVED AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION OF ON-SITE COMBUSTIBLE CONSTRUCTION. UTILITY OWNER APPROVAL IS REQUIRED FOR OBSTRUCTION OF ACCESS OR WATER SYSTEM SHUT DOWN.

THE LOCATION OF ALL WATER VALVES AND FIRE HYDRANTS MUST AT ALL TIMES DURING CONSTRUCTION BE REFERENCED AND MADE ACCESSIBLE TO THE OWNER OR HIS AUTHORIZED REPRESENTATIVE.

THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND PROVIDE ALL NECESSARY WATER FOR HIS CONSTRUCTION OPERATION AT HIS OWN EXPENSE.

ESTIMATED QUANTITIES

ALL QUANTITIES SHOWN ARE APPROXIMATE AND ARE FURNISHED SOLELY FOR THE CONTRACTOR'S CONVENIENCE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACTUAL QUANTITIES OF WORK REQUIRED AND BASE HIS BID ON HIS OWN INDEPENDENT ESTIMATE OF THE WORK SCOPE AND QUANTITIES OF MATERIALS REQUIRED. THEY DO NOT NECESSARILY CORRESPOND TO BID SCHEDULE ITEMS. PAYMENT WILL BE BASED ON BID SCHEDULE ITEMS. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR INDEPENDENTLY ESTIMATING QUANTITIES PRIOR TO BIDDING. THE CONTRACTOR REPRESENTS THAT THE TOTAL CONTRACT SUM IS ADEQUATE COMPENSATION FOR COMPLETING THE ENTIRE PROJECT AS SHOWN ON THE PLANS.

CUT & FILL QUANTITIES SHOWN REFLECT ONLY THAT EARTHWORK REQUIRED FOR CONSTRUCTION OF THE ROADWAY (ROADWAY PRISM ONLY), UNLESS OTHERWISE STATED.

THE LOCATION OF EXISTING FEATURES INDICATED ON THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR MAKING COMPLETE AND ACCURATE ON-SITE DETERMINATIONS OF THE LOCATIONS OF ALL UTILITIES, STRUCTURES AND FIELD CONDITIONS, WHICH MAY AFFECT THE PROGRESS OF THE WORK.

CONSTRUCTION OBSERVATIONS

AN OBSERVATION OF CONSTRUCTED IMPROVEMENTS WILL BE CONDUCTED BY THE ENGINEER. SPECIAL OBSERVATION AND TESTING SERVICES SHALL BE PROVIDED AT THE DEVELOPER'S EXPENSE, AS REQUIRED BY THE CITY ENGINEER.

NO BASE COURSE CONSTRUCTION SHALL BE STARTED UNTIL ALL UTILITY LINES ARE COMPLETED AND TESTED UNDER PROPOSED AREAS AND THE SUBGRADE HAS BEEN INSPECTED AND APPROVED BY THE ENGINEER OR HIS AUTHORIZED REPRESENTATIVE.

NO PAVEMENT SHALL BE PLACED UNTIL BASE COURSE CONSTRUCTION IS INSPECTED AND APPROVED BY THE ENGINEER.

THE ENGINEER SHALL BE NOTIFIED 24 HOURS PRIOR TO BEGINNING DIFFERENT PHASES OF CONSTRUCTION SO THAT OBSERVATIONS MAY BE SCHEDULED.

SUBMITTAL OF AN ENGINEER'S CERTIFICATE OF COMPLETION IS REQUIRED BY ADEQ FOR ALL WATER AND SEWER SYSTEM CONSTRUCTION. RELATED OBSERVATION AND TESTING SHALL BE PROVIDED BY THE DEVELOPER'S ENGINEER AT THE DEVELOPER'S EXPENSE.

MAINTENANCE OF FACILITIES AND WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STREETS AND OF PARTIALLY COMPLETED PORTIONS OF THE WORK UNTIL FINAL ACCEPTANCE OF THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE QUALITY OF EXISTING STREETS LEADING TO THE PROJECT SITE. EXISTING STREETS FOUND TO BE DAMAGED BY CONSTRUCTION TRAFFIC SHALL BE REPAIRED TO THE SATISFACTION OF THE CITY ENGINEER BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.

THE CONTRACTOR SHALL KEEP THE WORK AREA, ADJACENT PROPERTIES AND STREETS CLEAN AND FREE FROM RUBBISH, EXCESS MATERIALS, DUST AND DEBRIS GENERATED BY THE CONSTRUCTION ACTIVITY.

DAILY CLEANUP OF THE CONSTRUCTION SITE, INCLUDING SWEEPING STREETS, MAINTAINING TRENCHES, PROVIDING PROPER TRAFFIC CONTROL DEVICES, ETC., IS REQUIRED.

FINAL ACCEPTANCE

FINAL ACCEPTANCE OF THE CONSTRUCTION, BY THE CITY OF SEDONA ENGINEER, IS

REQUIRED BEFORE RELEASING PERMITS

APPROVAL OF A PORTION OF THE WORK IN PROGRESS DOES NOT GUARANTEE ITS FINAL ACCEPTANCE. TESTING AND EVALUATION MAY CONTINUE UNTIL WRITTEN FINAL ACCEPTANCE OF A COMPLETE WORKABLE UNIT. ACCEPTANCE OF COMPLETED IMPROVEMENTS WILL NOT BE GIVEN UNTIL DEFECTIVE OR UNAUTHORIZED WORK IS REMOVED AND FINAL CLEAN-UP IS COMPLETE.

CITY OF SEDONA RESERVES THE RIGHT TO REQUEST MODIFICATIONS TO THESE PLANS DURING CONSTRUCTION IF FIELD CONDITIONS WARRANT AND THE DESIGN ENGINEER CONCURS.

NO JOB WILL BE CONSIDERED COMPLETE UNTIL ALL CURB, PAVEMENT AND SIDEWALKS HAVE BEEN SWEPT CLEAN OF DIRT AND DEBRIS TO THE SATISFACTION OF THE OWNER AND ENGINEER.

WARRANTY

ANY DEFECTS WHICH APPEAR IN THE WORK WITHIN TWO YEARS FROM THE DATE OF FINAL ACCEPTANCE AND WHICH ARE DUE TO IMPROPER WORKMANSHIP OR INFERIOR MATERIALS SUPPLIED SHALL BE CORRECTED BY, AND AT THE EXPENSE OF, THE CONTRACTOR.

UTILITIES

THESE PLANS REPRESENT A REASONABLE EFFORT TO SHOW LOCATIONS OF EXISTING UNDERGROUND UTILITIES WITHIN THE PROJECT LIMITS. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES CAUSED DURING CONSTRUCTION. THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION OR CONSTRUCTION. WHERE PROPOSED UTILITIES ARE TO BE INTO EXISTING STUBOUTS, MANHOLES, ETC., THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION BY POT-HOLING, IF NECESSARY, TWO WEEKS PRIOR TO CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON PLANS, THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE PROPER UTILITY OWNER'S AGENT.

UTILITIES MUST BE LOCATED TO MINIMIZE INTERFERENCE WITH ONE ANOTHER, TO PROVIDE REQUIRED HORIZONTAL AND VERTICAL SEPARATIONS, AND TO PROVIDE MAINTENANCE ACCESS WITHOUT VIOLATING EASEMENT BOUNDARIES.

UTILITY FACILITIES IN CONFLICT WITH THIS WORK WILL BE RELOCATED BY THE PERMITTEE OR THE UTILITY OWNER. THIS ACTIVITY SHALL BE COORDINATED WITH THE OWNER OF THE UTILITY TO PREVENT ANY UNNECESSARY INTERRUPTION OF SERVICE TO EXISTING CUSTOMERS.

IT IS NOT WITHIN THE SCOPE OF THE PLANS FOR THE ENGINEER TO LOCATE, IDENTIFY OR FORESEE EVERY UTILITY CONFLICT WHICH MAY ARISE DURING THE CONSTRUCTION PHASE OF THE PROJECT BUT IT IS THE INTENT OF THE OWNER TO REASONABLY COMPENSATE THE CONTRACTOR FOR THE WORK REQUIRED TO RELOCATE OR ADJUST UTILITIES CONFLICTING WITH THE CONSTRUCTION OF THE PROJECT. TO THAT END, UTILITIES (AS DEFINED IN MAG 101.2) WHICH ARE ENCOUNTERED WILL BE ADDRESSED AS FOLLOWS:

1) UTILITY RELOCATION'S OR ADJUSTMENTS NOT NOTED ON THE PLANS SHALL BE ADDRESSED ON A CASE BY CASE BASIS. THE ENGINEER SHALL DETERMINE WHAT WORK IS REQUIRED TO PRODUCE THE DESIRED FINAL PRODUCT. IF A UNIT BID PRICE DOES NOT EXIST THEN COMPENSATION MUTUALLY ACCEPTABLE TO THE OWNER, CONTRACTOR, AND ENGINEER SHALL BE MADE.

2) THE SEPARATION BETWEEN WATER AND ELECTRIC SHALL BE 3 FEET HORIZONTAL AND 1 FOOT VERTICAL.

IN EITHER SITUATION, WORK ON THE SPECIFIC CASE SHALL NOT PROCEED UNTIL THE AMOUNT OF COMPENSATION IS AGREED UPON. COMPENSATION FOR UTILITY RELOCATION'S AND ADJUSTMENTS SHALL NOT INCLUDE COSTS FOR REPAIR TO THE UTILITY DAMAGED BY THE CONTRACTOR OR HIS SUBCONTRACTOR(S). THE CONTRACTOR IS NOT RELIEVED OF THE RESPONSIBILITY FOR DETERMINING THE LOCATION OF ALL UTILITIES AFFECTING THE WORK. THE APPROPRIATE UTILITY COMPANIES SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. CERTAIN UTILITIES ARE TO REMAIN IN SERVICE DURING THE CONSTRUCTION OF THE FILL AND UPON COMPLETION OF THE CONTRACT. THESE UTILITIES SHALL BE PROTECTED DURING THE CONSTRUCTION AND CUT OR FILL PLACEMENT SHALL NOT PROHIBIT MAINTENANCE ACCESS TO THESE UTILITIES.

A UTILITY COORDINATION MEETING SHALL BE COORDINATED BY THE CONTRACTOR PRIOR TO THE START OF ANY WORK. ALL UTILITY ISSUES SHALL BE ADDRESSED IN ACCORDANCE WITH MAG SECTION 105.6.

BLUE STAKE

LOCATION OF UNDERGROUND UTILITIES SHALL BE ACCOMPLISHED IN ACCORDANCE WITH ARS 40-360.22 PRIOR TO ANY EXCAVATION. BLUE STAKE SHALL BE CALLED AT 1-800-STAKE-IT FOR ACCURATE LOCATION OF UTILITIES AS NECESSARY AND PRIOR TO ANY EXCAVATION.

AS-BUILT PLANS

THE CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF ALL APPROVED SHOP DRAWINGS AND AN ACCURATE, CURRENT, AS-BUILT SET OF PLANS ON SITE FOR REFERENCE AT ALL TIMES. THE AS-BUILT PLANS WILL BE FURNISHED BY THE CONTRACTOR TO THE OWNER AT THE COMPLETION OF THE PROJECT FOR RECORD. THE AS-BUILT PLANS MUST BE UPDATED DAILY BY THE CONTRACTOR AND INCLUDE, IN ADDITION TO THE PLANNED CONSTRUCTION, ANY CHANGES AUTHORIZED BY THE OWNER AND ANY UTILITIES DISCOVERED DURING THE TRENCHING OPERATIONS BY SIZE, LOCATION, AND TYPE REDLINED ONTO THE PLANS BY STATION/DISTANCE/DEPTH.

PRIOR TO APPROVAL OF AN IMPROVEMENT PROJECT, AN "AS-BUILT" PLAN MUST BE SUBMITTED TO THE CITY ENGINEER. THE AS-BUILT PLAN SHALL INDICATE THE ACTUAL LOCATION OF WATER MAINS, SEWER MAINS, UNDERGROUND DRAINAGE STRUCTURES, ALL SEWER AND WATER SERVICES, ALL FITTINGS, VALVES AND MANHOLES RELATIVE TO RIGHT-OF-WAY BOUNDARIES, LOT LINE, OR OTHER POINTS OF SURVEY.

CONSTRUCTION STAKING

THE ACCURACY OF ALL CONSTRUCTION WORK SHALL BE MAINTAINED AND VERIFIED BY THE CONTRACTORS SURVEYOR AT THE DEVELOPERS EXPENSE BY PROVIDING CONSTRUCTION STAKING SUITABLE TO THE ENGINEER. STAKES WILL BE SET ESTABLISHING LINES AND GRADES (FINISH OR FLOWLINE) FOR ALL CONSTRUCTION INCLUDING ROADS, CURB AND GUTTER, SIDEWALKS, UTILITIES, STRUCTURES, AND OTHER WORK AS CONSIDERED NECESSARY BY THE ENGINEER. ALL SURVEY CONTROL SHALL BE SET BY THE DEVELOPER'S SURVEYOR FROM MONUMENTS ACCEPTABLE TO THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR RESTAKING EXPENSES.

INTERPRETATION OF PLANS

THESE PLANS ARE SUBJECT TO THE INTERPRETATION OF INTENT BY THE ENGINEER. ALL QUESTIONS REGARDING THESE PLANS SHALL BE DIRECTED TO THE ENGINEER. ANY INTERPRETATION OF THE PLANS BY ANYONE OTHER THAN THE ENGINEER SHALL BE RESPONSIBLE FOR ANY CONSEQUENCES THEREOF.

COORDINATION WITH OTHER PROJECTS

CONTRACTOR SHALL COORDINATE WORK WITH ON-GOING AND PROPOSED WORK ADJACENT TO OR NEAR THE PROJECT SITE.

PERMITS AND APPROVALS

CITY OF SEDONA REQUIRES PERMITS BE ISSUED PRIOR TO THE ISSUANCE OF A GRADING PERMIT FOR ANY EXCAVATION OR GRADING (INCLUDING PLACEMENT OF FILL). THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND EASEMENTS FROM ALL APPLICABLE JURISDICTIONS PRIOR TO CONSTRUCTION.

SUBGRADE PREPARATION

NATIVE SUBGRADE SOIL TO RECEIVE FILL SHALL BE STRIPPED OF VEGETATION, DEBRIS, ORGANIC RICH SOILS, TREES AND OTHER DELETERIOUS MATERIALS. THE SUBGRADE SHALL BE SCARIFIED AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO TEST T99, METHOD A AND/OR METHOD T-191. CLAYEY SOILS SHALL BE COMPACTED AND MAINTAINED (UNTIL COVERED) AT A MOISTURE CONTENT IN THE RANGE OF OPTIMUM -3 TO +1%. EXISTING SLOPING AREAS STEEPER THAN 5:1 (HORIZONTAL TO VERTICAL) SHALL BE BENCHED TO REDUCE THE POTENTIAL FOR SLIPPAGE BETWEEN EXISTING SLOPES AND NEW FILLS. BENCHES SHALL BE LEVEL AND WIDE ENOUGH TO ACCOMMODATE COMPACTION AND EARTH MOVING EQUIPMENT. ISOLATED CLAY POCKETS, IF ANY, SHALL BE OVEREXCAVATED BELOW SUBGRADE AND REPLACED WITH GRANULAR MATERIAL.

FILL CONSTRUCTION

SUBBASE FILL SHALL CONSIST OF ON-SITE OR IMPORTED SOILS. IMPORTED SOILS, IF ANY, SHALL CONFORM TO THE FOLLOWING:

GRADATION (ASTM C136)	PERCENT FINER BY WEIGHT
6"	100
4"	85-100
3/4"	70-100
NO. 4 SIEVE	50-100
NO. 200 SIEVE	50 MAX
MAXIMUM EXPANSIVE POTENTIAL (%)	1.5
MAXIMUM SOLUBLE SULFATES (%)	0.10

FILL SHALL BE PLACED IN HORIZONTAL LIFTS AT THICKNESSES CONSISTENT WITH COMPACTION EQUIPMENT USED TO ACHIEVE UNIFORM DENSITIES THROUGHOUT LIFT THICKNESS. FILLS LESS THAN 10 FEET HIGH SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99, METHOD A. THE CONTRACTOR SHALL CONTRACT WITH AN INDEPENDENT TESTING LABORATORY, WITH AN APPROVED ENGINEER, TO PROVIDE COMPACTION TESTING. TESTS SHALL BE PROVIDED AT MINIMUM INTERVALS OF ONE TEST PER 5000 SQUARE FEET OF FILL SURFACE FOR EACH LIFT OF FILL CONSTRUCTION. TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER DAILY.

AGGREGATE BASE COURSE

1. AGGREGATE BASE COURSE MATERIAL SHALL CONFORM TO MAG SECTIONS 310 AND 702 OF THE MAG SPECIFICATIONS AND SHOULD BE WELL GRADED WITHIN THE FOLLOWING LIMITS:

SIEVE SIZE	PERCENT PASSING
1-1/4"	100
NO. 4	38-65
NO. 8	25-60
NO. 30	10-40
NO. 200	3-12

THE MAXIMUM PLASTICITY INDEX SHALL NOT EXCEED 7, PER Y.A.G SPECIFICATIONS, AND THE PERCENTAGE OF WEAR SHALL NOT EXCEED 40 AFTER 500 REVOLUTIONS. CINDERS ARE NOT TO BE USED FOR AGGREGATE BASE COURSE MATERIAL.

BASE MATERIAL SHALL BE PLACED IN UNIFORM LAYERS NOT TO EXCEED 6" IN DEPTH. EACH LAYER SHALL BE BLADED TO A SMOOTH SURFACE CONFORMING TO THE CROSS SECTION SHOWN ON THE PLANS AND SHALL BE WATERED AND THOROUGHLY ROLLED IN A MANNER SATISFACTORY TO OBTAIN A 100% OF MAXIMUM DENSITY, BASED ON A MODIFIED PROCTOR.

RELOCATIONS AND REMOVALS

REMOVAL OF EXISTING IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH MAG SECTION 350.

SIGNS, TREES SHRUBS, MAILBOXES AND OTHER INCIDENTALS REQUIRING RELOCATION SHALL BE MOVED ONLY FAR ENOUGH TO ALLOW CONSTRUCTION OF THE PROJECT AND CAUSE THE LEAST DISRUPTION TO PRIVATE PROPERTY, AND LANDSCAPE. FINAL POSITIONS SHALL BE APPROVED BY THE ENGINEER PRIOR TO RELOCATION. ALL RELOCATED ITEMS SHALL CONTINUE TO WORK IN THEIR INTENDED CAPACITY AFTER THE RELOCATION HAS BEEN ACCOMPLISHED. NO SIGNS SHALL BE RELOCATED TO POSITIONS OUTSIDE DESIGNATED RIGHTS-OF-WAY. SAFETY SHALL BE A PRIMARY CONSIDERATION IN THE PLACEMENT OF SHRUBBERY AND SIGNS WHICH COULD POSSIBLY DISRUPT THE SIGHT DISTANCE OF MOTORISTS.

MISCELLANEOUS REMOVALS AND OTHER WORK NECESSITATED BY THE WORK AS IT PROGRESSES AND NOT SPECIFICALLY CALLED OUT ON THE PLANS WILL BE CONSIDERED INCIDENTAL WORK.

Call at least two full working days before you begin excavation.




Dial 8-1-1 or 1-800-STAKE-IT (782-5348)

REVISIONS			
NO.	DESCRIPTION	DATE	BY



75 Kallof Place
Sedona, AZ 86336
928.282.1061
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JOB NO:	18035
DATE:	FEB 18
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DRAWN:	LTW
DESIGN:	LTW
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VERIZON CELL TOWER—		VERIZON WIRELESS	
PRELIMINARY		C2	
NOT FOR CONSTRUCTION, BIDDING OR RECORDING		GENERAL NOTES	
		SHT NO.	OF
		2	2

DRAWING NO.

C2

NOT FOR CONSTRUCTION, BIDDING OR RECORDING

SHT NO.

2

OF

2